

DESIGN GUIDELINES FOR SOUTH POINTE

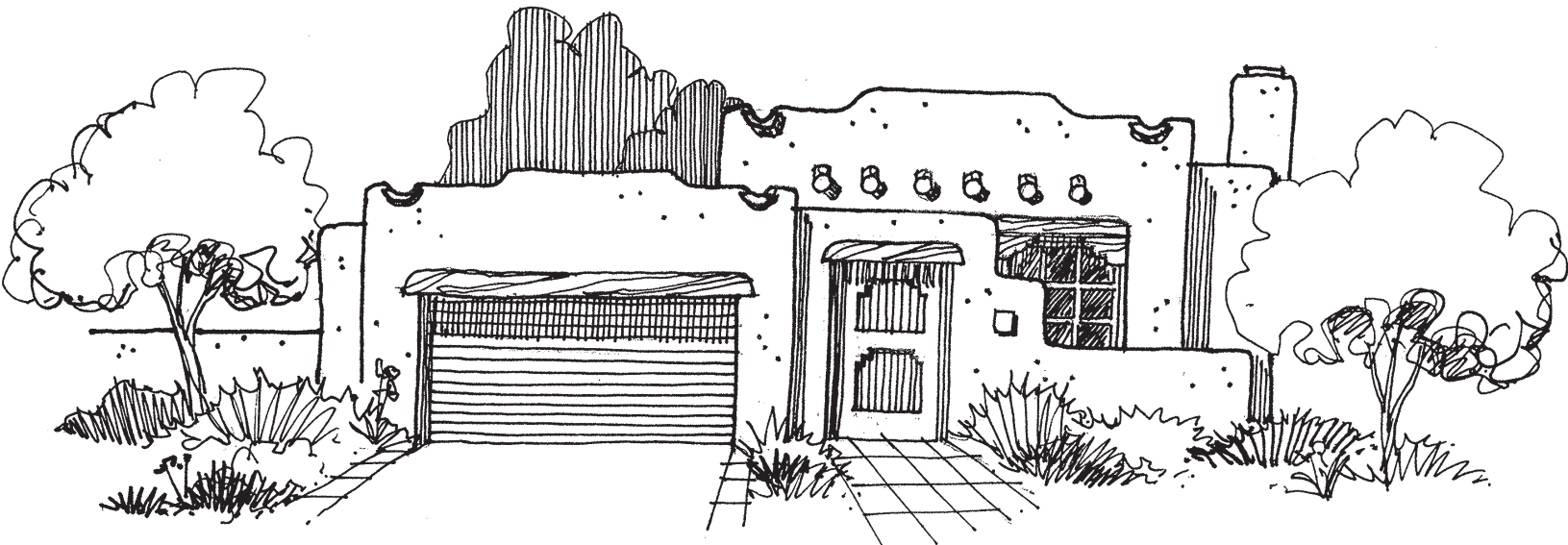
The following are guidelines for homes built in the South Pointe subdivision. The subdivision will consist of no more than 27 single-family detached residences. Builders will construct all homes within South Pointe in compliance with these Guidelines.

A. Architectural Styles

All homes must be of a Southwestern Contemporary Style which blends building characteristics of the southwest. While these characteristics are typical, it is not the intent of these Guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains the characteristics of one or a blend of styles.

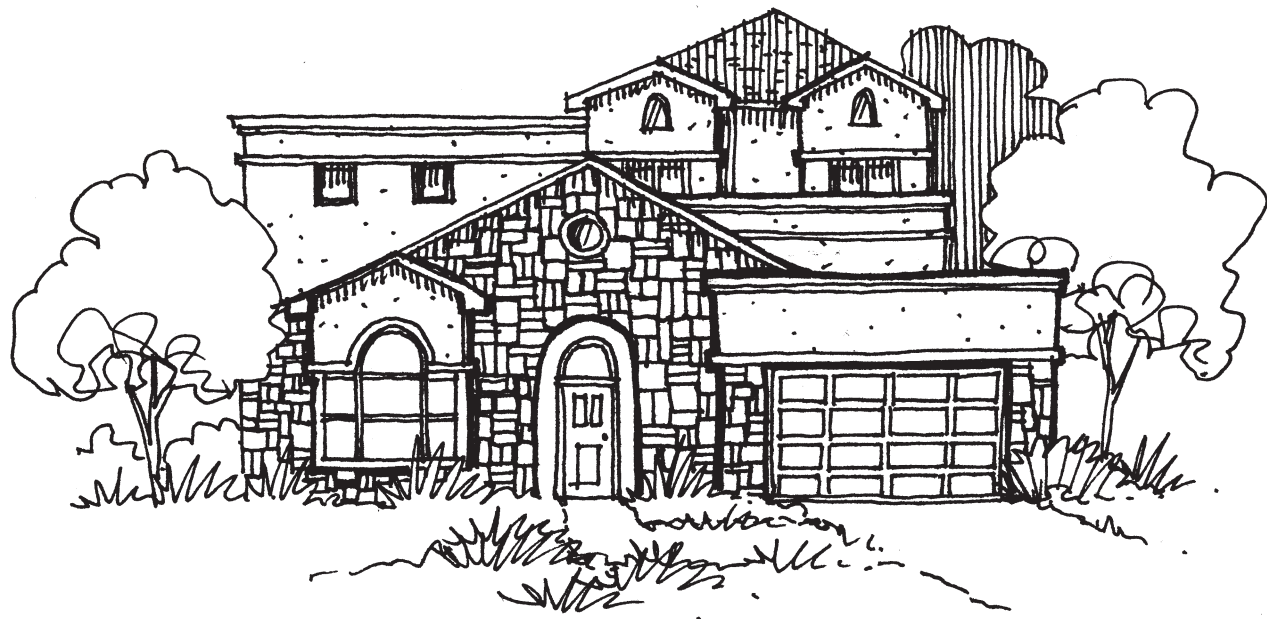
Pueblo Style - Pueblo style is walled architecture recalling the low adobe, flat roofed dwellings of the northern New Mexico Pueblo Indians. Characterized by the “Pueblo” buildings of historic Santa Fe, Pueblo style may incorporate recessed set doors and windows, and dramatically recessed portals or patios (at front facades). The Pueblo style traditionally uses flat roofs, interesting massing, and soft edged smooth stucco.

1. Entry portals are a hallmark of the Pueblo style.
2. Lintels over openings can be wood and exposed, but covered lintels are just as common.
3. Exterior wall finish is stucco from the approved color list.
4. Stone can be used in horizontal benches at the base of walls in the prescribed percentages in coursed ashlar pattern.
5. The clustered form allows courtyards to be easily integrated into the design by low walls and gates.
6. Parapets are also used to emphasize forms.



Mediterranean Style - Low-pitched gabled or hipped roofs (flat in some cases) characterize the Mediterranean style. Windows and doors may have arches above, windows tend toward full lengths, and entry porches are characteristically recessed. The façade is broken into multiple masses and the wall finishes of stucco, potentially with stone accent materials, and belt courses at walls and parapets.

1. There are pitched roof forms on main volumes, porches and colonnades or behind parapets in this style, maximum slope is 6” per foot. Low sloped roofs can also be combined with flat roof elements.
2. Entry portal is not common in this style, however, arches above doors, principal windows, or beneath porch roofs are common.
3. Trim over and around openings can be tile or terra cotta moldings, but untrimmed openings are just as common.
4. A variation of building masses allows courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
5. Parapets are also used to emphasize forms.
6. Exterior wall finish is stucco, from the approved color list; or smooth stone finish, in the prescribed percentages, with square or slightly rounded corners.



Zero Lot Line Patio Homes - This style only differs from the above styles in that one wall running the length of the structure shall not contain any windows or protrusions and is built on the designated property line. The Patio Home style and guidelines for zero lot lines are defined by the City of Albuquerque Zoning Code and will be adhered to and incorporated into the house design. Typically the garage is positioned along the property line with the front entrance street facing or concealed along the side yard. This style is a modern concept emphasizing privacy to the side and rear yards with a flow of interior to exterior living.

1. Entry portals are common whether to the front or side of the structure.
2. This building style allows for formal courtyards at the front or side to be easily incorporated into the design by low walls and gates.
3. Surface easements from the adjoining property owner allow for maintenance and repair of zero lot common walls.
4. Glass block is allowed on the zero lot line of the structure provided they are at least 7 feet above the finished floor and are obscure to the extent nothing can be identified through them.

B. Building Massing

For the architectural styles listed above, building massing is critical, especially for the street elevations. Building masses should be offset from the adjacent masses by an appropriate dimension to the size of the building. The front elevation must contain at least two building masses. A building mass is defined as a volume of space that usually appears as a rectilinear form consisting of a roof and at least three walls but two walls are appropriate in the southwestern contemporary designs mimicking the steps associated with the northern pueblo structures, porches shall be included in a two or three sided design and considered as mass.

C. Roof Forms

These forms are appropriate:

1. Low sloped roofs, 1/4” per foot to 1” per foot, with parapets (all styles).
2. Gable and hip roofs, 8” per foot for Mediterranean Style.

These roof forms are not permitted:

1. Mansard.
2. Domed or arched.
3. Gambrel.

D. Roof Materials

These roof materials are allowed:

1. Metal roofs, pre-shaped to give the appearance of tile or concrete, mission barrel, or S-Shaped.
2. Built-up roofing (non reflective)
3. Single-ply membrane (low sloped only, non reflective).
4. Clay or Concrete tile, mission barrel or S-Shaped.

These roofing materials are not allowed:

1. Asphalt shingles.
2. Wood shingles and shake shingles.
3. Metal roofs of standing seam or corrugated.

E. Columns

The following are appropriate column forms:

1. Square stucco.
2. Round stucco.
3. Square wood.
4. Square wood, tapered.
5. Round peeled bark wood.
6. Round classical with smooth shafts in Doric or simple contemporary order.
7. Square stone.
8. Round stone.

The following shall not be allowed:

1. Corinthian.
2. Ionic.
3. Tuscan.
4. Egyptian.

F. Garages

1. Each home must have a garage for not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four off street parking spaces are provided.
2. Garage doors shall be offset from the surface of the front façade by a minimum of 4 inches.
3. A shadow box around the garage door is required and may extend up to 24 inches (24) into the front setback, provided the garage door remains at the approved 20 foot (20) setback.
4. The garage may never be converted into living space and the garage door removed.
5. The garage door shall be painted the same color as the house.

G. Windows

Windows are integral with all styles of homes.

1. Windows may be set deep into the walls to create a feeling of masonry construction and massiveness, 2 inch minimum.
2. Windows with colored sashes and heavy profiles are appropriate.
3. Unanodized aluminum frames may not be used.

H. Setbacks

The use of short block lengths, and varied front facades have been utilized to prevent the garage doors from dominating the streetscape.

1. Front yard setback
 - a. No house shall be constructed within fifteen feet (15’) from the front property line of any lot.
 - b. The garage shall be constructed to ensure that a twenty-foot (20’) minimum parking area exists in front of the garage for a minimum of two cars.
2. Side yard setback
 - a. Single family houses shall be constructed within five feet (5) from the side property line of a lot.
 - b. Zero Lot Line Patio homes shall be constructed with one wall on the property line as indicated by the Plat and a ten foot (10) set back on the opposite side property line of a lot.
3. Rear yard setback- No house shall be constructed within fifteen feet (15) from the rear property line of a lot.

I. Minimum Square Footage

Each home must have at least 1,800 square feet of fully enclosed heated area, exclusive of garages, open porches, and patios.

J. Building Materials

1. Synthetic stucco shall be the primary material and shall account for a minimum of 80% of the exterior construction.
2. Stone may be used as an accent feature and shall not comprise more than 20% of the exterior construction.

K. Pre-Approved Building Colors

1. Primary exterior stucco colors shall be muted earth tones and match or be similar to the following: Degussa Wall Systems, Inc., Senergy Synthetic Stucco color chart including, Clay, Ash Brown, Hickory, Hazelnut, Cardamon, Rawhide, Café au Lait, Aztec Gold, Champagne, Sage and Umber. Colors from other manufacturers need to match approved colors to be submitted.
2. Accent- A variety of colors may be used to accent architectural features such as entries, window trim, fascias, and other traditional southwestern architectural features. Colors allowed for accents besides the approved list may include white, tan, brown or other approved earth tone colors.
3. All roof penetrations shall be painted to match the predominant roof or stucco color.

L. Building Height

Houses or improvements on any lot shall not exceed seventeen feet (17) for single story and the maximum height allowed for two-story homes is twenty-six feet (26) as defined by the City of Albuquerque Zoning Code.

1. The maximum area of the second story of a house shall be no more than seventy-five percent (75%) of the area of the first floor. The first floor area is calculated inclusive of the garage area and covered porch area. The second story area is calculated exclusive of roof decks and covered porches.
2. Lots bordering the existing homes along the northern property line of the subdivision shall be restricted to single story only (Lots 1-14).

M. Site Lighting

1. If provided, site lighting shall not have a total off-site luminance greater than 1000 foot lamberts, however it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property.
2. The mounting height of luminaries, if provided, shall be no higher than 12 feet, except for second floor porches which shall be mounted no higher than seven feet (7) above the finished floor of the second story. All outdoor lighting shall be shielded and directed downward to prevent light pollution.
3. If required, street lighting shall be limited to twenty four (24) feet in height and shall be a shielded source (shoebox style) with no light source (lamp) visible from the site perimeter.

N. Landscape Plant Palette

This list is provided as a guide only. Additional plant materials included in the “Albuquerque Plant List” are acceptable subject to the Water Conservation Landscaping and Water Waste Ordinance.

Shade Trees (1 ½” caliper min.)*

Velvet Ash, Raywood Ash, Peachleaf Willow, Flowering Pear

Accent Trees (1” caliper min.)

Desert Willow, Chitalpa, NM Olive, Net Leaf Hackberry, Redbud, Vitex, KV Plum

Evergreen Trees (5’ min. height)

Pinon, Austrian Pine, Dwarf Blue Spruce

Shrubs (1 & 5 gallon)

Potentilla, Chamisa, Artemesia, Species, Flowering Saltbush, Apache Plume, Mountain Mahogany, Evening Primrose, Penstemon Species, Desert Spoon, Cliff Rose, 3 Leaf Sumac, Baccharis, Yucca, Russian Sage, Rosemary, Mugo Pine, Indian Hawthorn, Barberry, Nandina, Ornamental Grass Species, Cherry Sage, Yarrow, May Knight Selvia, Rose of Sharon, Wall Flower, Boxwood, Lavenders

**There shall be a minimum of one shade tree per lot within 20 feet of the back of the curb.*

O. Mechanical Equipment

Air conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view (as viewed from the front property line). Equipment which is ground mounted shall be located within the side or rear yard and screened from the front and side.

P. Fireplaces

Fireplaces and/or stoves within the residences shall be limited to natural gas logs, Environmental Protection Agency (EPA) approved wood burning and other EPA approved wood burning devices.

Q. Walls

All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.

Subdivision Walls

- a. Any perimeter wall shall be built to the standards and specs of the City of Albuquerque and will be paid for by the Developer. The wall height shall be no more than six feet (6) and no less than four feet (4) as measured from the street side of the wall.

Site Walls

- a. Each house must have a rear wall and two side walls. All rear walls shall extend the entire length of the rear property line. All side walls shall extend from the rear of the property to at least the rear of the dwelling.
- b. Interior residential lot line walls shall be brown CMU and/or stucco and no more than six feet (6) in height.
- c. All walls that are located on the common property line between adjoining lots shall be party walls that may not be removed by either property owner of the adjoining lots. All walls must be constructed from the elevation specified by the subdivision engineer and indicated on the grading plan. The cost of installation and maintenance of such party walls shall be split equally between property owners of the adjoining lots.
- d. No wall may be erected on a lot that is closer to the street than the front of the dwelling except

for courtyard walls.

- e. A house is located on a corner when such house abuts more than one public right-of-way. The corner house will be deemed to front on the right-of-way on which the house has a smaller dimension

Courtyard Walls

Courtyard walls are allowed within the front yard setback area and shall be constructed of materials, finish and color that are complimentary to the house.

R. Mailboxes

“Cluster-type” mailboxes will be used, subject to the requirements of, and coordination with the United States Postal Service.

S. Solid Waste

Each home shall have a storage area for residential automated carts, not to be visible from the street.

T. Vacant Lots/Destruction

1. There shall be no trash, ashes, paper or refuse of any kind thrown or dumped onto vacant lots.
2. The owner of a lot within the subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other items that is visually or otherwise undesirable, except for material which may be used during the initial construction period.
3. The owner of a lot upon which a structure is destroyed by fire or other casualty shall either promptly rebuild, repair or replace the structure or remove the debris (including the foundation) from the lot.

U. Restricted Activities

1. The use of any trailer, motor home, boat, shack, tent, garage or any other outbuilding as a residence either temporary or permanent is prohibited.
2. The construction, erection, placement, assembly or maintenance of any outbuilding or storage building or other auxiliary building of any nature, permanent or temporary, detached from the permitted improvements on the house, must be approved by the Architectural Control Committee for South Pointe Subdivision and must be similar in architectural design as the house.

V. Restrictive Covenants

Any other legal matters or further restrictions shall be addressed in the Declaration of Restrictive and Protective Covenants for South Pointe (Restrictive Covenants). The Restrictive Covenants will provide further detail to the items listed above and will be binding upon all property owners in South Pointe Subdivision. These Restrictive Covenants will address all matters effecting South Pointe Subdivision with respect to the governing body, fees, enforcement, modification and all other matters pertaining to South Pointe Subdivision.

South Pointe

DESIGN GUIDELINES

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July 18, 2005